

AA 401-07 Weems Creek Baptist Church  
Site Plan 07-0066

S1829-6295



Martin O'Malley  
*Governor*

Anthony G. Brown  
*Lt. Governor*



Margaret G. McHale  
*Chair*

Ren Serey  
*Executive Director*

**STATE OF MARYLAND  
CRITICAL AREA COMMISSION  
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401  
(410) 260-3460 Fax: (410) 974-5338  
[www.dnr.state.md.us/criticalarea/](http://www.dnr.state.md.us/criticalarea/)

October 25, 2010

Ms. Kelly Krinetz  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road  
Annapolis, Maryland 21401

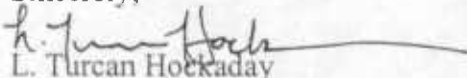
Re: Weems Creek Baptist Church  
C09-0080-00NC

Dear Ms. Krinetz:

Thank you for forwarding the revised site plan for the above referenced development application for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet, 86,781 square feet of which is located within the Limited Development Area (LDA) of the Chesapeake Bay Critical Area. Current lot coverage within the Critical Area is 3,124 square feet. The applicant is proposing to increase the lot coverage to 12,922 square feet; 14.89% of the LDA portion of the site. At this time, I have no further comments in regard to this project.

Thank you for the opportunity to provide comment. If you have questions, please call (410) 260-3479.

Sincerely,

  
L. Turcan Hockaday

Natural Resource Planner  
AA 401-07



Martin O'Malley  
Governor

Anthony G. Brown  
Lt. Governor



Margaret G. McHale  
Chair

Ren Serey  
Executive Director

STATE OF MARYLAND  
CRITICAL AREA COMMISSION  
CHESAPEAKE AND ATLANTIC COASTAL BAYS

August 3, 2010

1804 West Street, Suite 100, Annapolis, Maryland 21401

(410) 260-3460 Fax: (410) 974-5338

[www.dnr.state.md.us/criticalarea/](http://www.dnr.state.md.us/criticalarea/)

Ms. Kelly Krinetz  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road  
Annapolis, Maryland 21401

Re: Weems Creek Baptist Church  
C09-0080-00NC

Dear Ms. Krinetz:

Thank you for forwarding the revised site plan for the above reference development application for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet, 86,781 square feet of which is located within the Limited Development Area (LDA) of the Chesapeake Bay Critical Area. Current lot coverage within the Critical Area is 3,124 square feet. The applicant is proposing to increase the lot coverage to 12,922 square feet; 14.89% of the LDA portion of the site. I have outlined my remaining comment below:

1. The applicant has failed to address the comment regarding using native species in my March 17, 2010 letter. The Landscape Schedule contains two species of trees and two species of shrubs which are not native to Maryland. We recommend that the non-native species be replaced as follows:
  - *Carpinus betulus* with *Carpinus caroliniana*;
  - *Ginkgo biloba* with *Liriodendron tulipifera*, *Populus deltoises*, or *Ulmus rubra*.
  - 'Nancy' Azalea and Catawba Rhododendron with *Rhododendron atlanticum*, *Rhododendron calendulaceum*, *Rhododendron canescens*, *Rhododendron maximum*, or *Rhododendron periclymenoides*

Thank you for the opportunity to provide comment. If you have questions regarding this project, please call (410) 260-3479.

Sincerely,

A handwritten signature in black ink, appearing to read "L. Turcan Hockaday".

L. Turcan Hockaday  
Natural Resource Planner  
AA 401-07

Martin O'Malley  
*Governor*

Anthony G. Brown  
*Lt. Governor*



Margaret G. McHale  
*Chair*

Ren Serey  
*Executive Director*

**STATE OF MARYLAND  
CRITICAL AREA COMMISSION  
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

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(410) 260-3460 Fax: (410) 974-5338  
[www.dnr.state.md.us/criticalarea/](http://www.dnr.state.md.us/criticalarea/)

March 17, 2010

Ms. Kelly Krinetz  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road  
Annapolis, Maryland 21401

Re: Weems Creek Baptist Church  
C09-0080-00NC

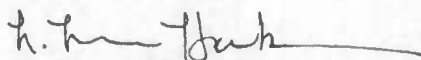
Dear Ms. Krinetz:

Thank you for forwarding information on the above reference development application for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet, 86,781 square feet of which is located within the Limited Development Area (LDA) of the Chesapeake Bay Critical Area. Current lot coverage within the Critical Area is 3,124 square feet. The applicant is proposing to increase the lot coverage to 12,922 square feet; 14.89% of the LDA portion of the site. I have outlined my remaining comment below:

- The Landscape Schedule on sheet 11 of 12 of the revised SDP includes species of plants which are not native to Maryland. We recommend that the applicant replace the non-native species with native species of plants. A list of such species can be found in the U.S. Fish and Wildlife Service's Native Plants for Wildlife Habitat and Conservation Landscaping: Chesapeake Bay Watershed document, available at <http://www.nps.gov/plants/pubs/chesapeake/>

Thank you for the opportunity to provide comment. If you have questions regarding this project, please call (410) 260-3479.

Sincerely,

  
L. Turcan Hockaday  
Natural Resource Planner  
AA 401-07



Martin O'Malley  
Governor

Anthony G. Brown  
Lt. Governor



Margaret G. McHale  
Chair

Ren Serey  
Executive Director

STATE OF MARYLAND  
CRITICAL AREA COMMISSION  
CHESAPEAKE AND ATLANTIC COASTAL BAYS

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(410) 260-3460 Fax: (410) 974-5338  
[www.dnr.state.md.us/criticalarea/](http://www.dnr.state.md.us/criticalarea/)

December 22, 2009

Ms. Kelly Krinetz  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road  
Annapolis, Maryland 21401

Re: Weems Creek Baptist Church  
C09-0080-00NC

Dear Ms. Krinetz:

Thank you for forwarding information on the above reference development application for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet, 86,781 square feet of which is located within the Limited Development Area (LDA) of the Chesapeake Bay Critical Area. Current lot coverage within the Critical Area is 3,124 square feet. The applicant is proposing to increase the lot coverage to 12,922 square feet; 14.89% of the LDA portion of the site. Based on this information, we have the following comments:

- The total existing forest in the LDA portion of the site is 35,845 square feet. The proposed clearing is 8,901 square feet, which is 24.8% of the existing forest. The zoning ordinance requires the applicant to have approval by planning and zoning in order to clear more than 20% of the parcel. Provided this approval is obtained, the applicant will be required to mitigate at a 1:1.5 ratio for all clearing. In this case, the total mitigation required for the proposed clearing is 13,351 square feet. The mitigation planting plan must be amended to reflect this mitigation requirement.

Thank you for the opportunity to provide comment. If you have questions regarding this project, please call (410) 260-3479.

Sincerely,

  
L. Turcan Hockaday

Natural Resources Planner

cc: AA 401-07

TTY for the Deaf

Annapolis: (410) 974-2609 D.C. Metro: (301) 586-0450

Martin O'Malley  
Governor

Anthony G. Brown  
Lt. Governor



Margaret G. McHale  
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[www.dnr.state.md.us/criticalarea/](http://www.dnr.state.md.us/criticalarea/)

July 9, 2007

Ms. Suzanne Schappert  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road, MS 6301  
Annapolis, Maryland 21401

Re: Weems Creek Baptist Church Site Plan 07-0066

Dear Ms. Schappert:

This office has received the above-referenced site plan for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet with 86,781 square feet in the Limited Development Area of the Critical Area. Total disturbed area in the Critical Area is proposed to be 10,633 square feet (12%). My comments are outlined below.

1. The proposed clearing appears to be under 20%; therefore 1:1 mitigation will be required. Since no mitigation area is shown, I assume mitigation will be handled through a fee. If not, please have the applicant indicate the area of mitigation on the plan and plat.

Thank you for the opportunity to comment. Please include this letter in your file and submit it as part of the record for variance. Please notify the Commission of the decision made in this case.

If you have any questions, please telephone me at (410) 260-3481 or Lisa Hoerger at (410) 260-3478.

Sincerely,

A handwritten signature in cursive script, appearing to read "Megan J. Sines".

Megan J. Sines  
Natural Resources Planner

cc: AA 401-07



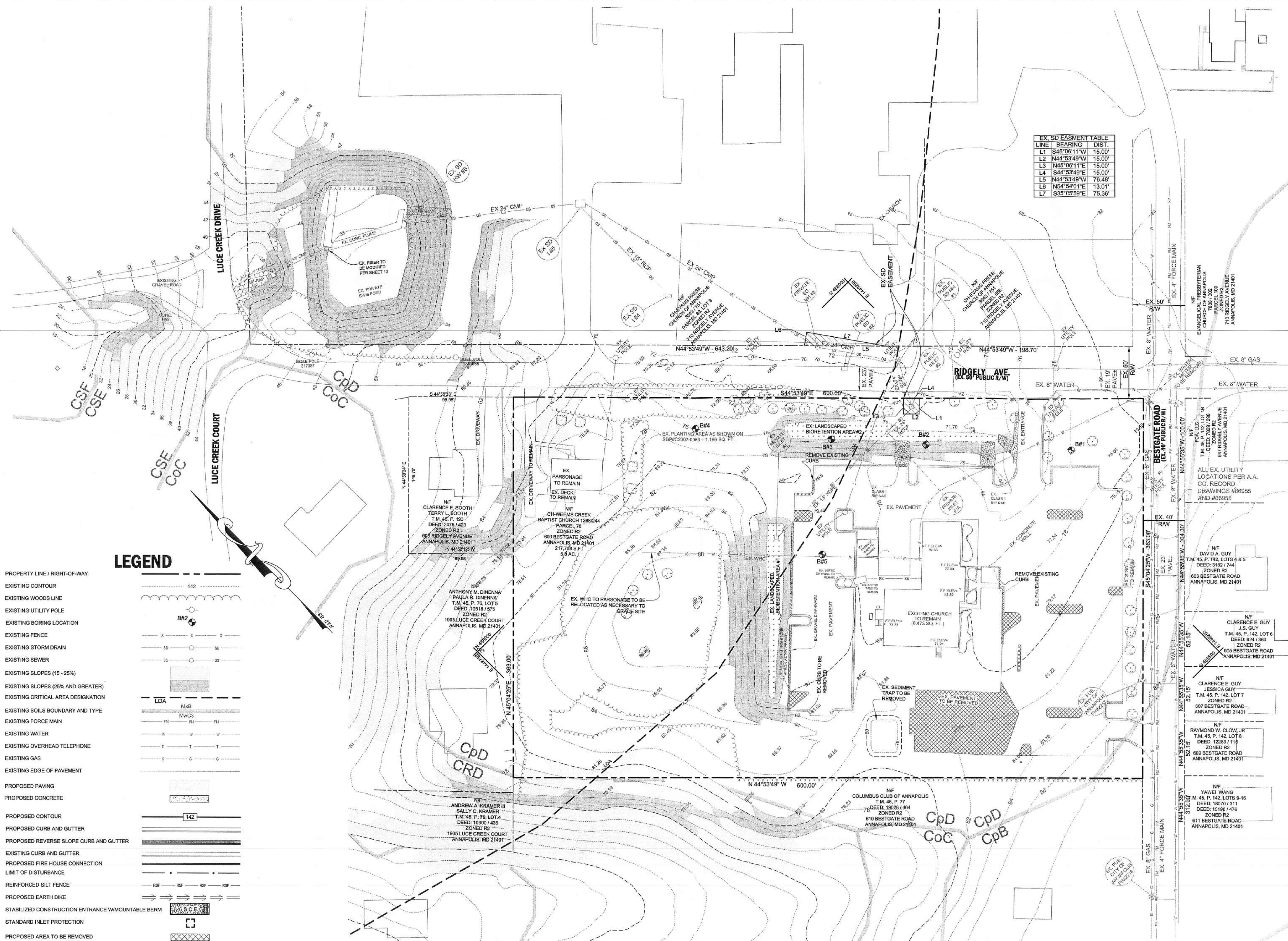
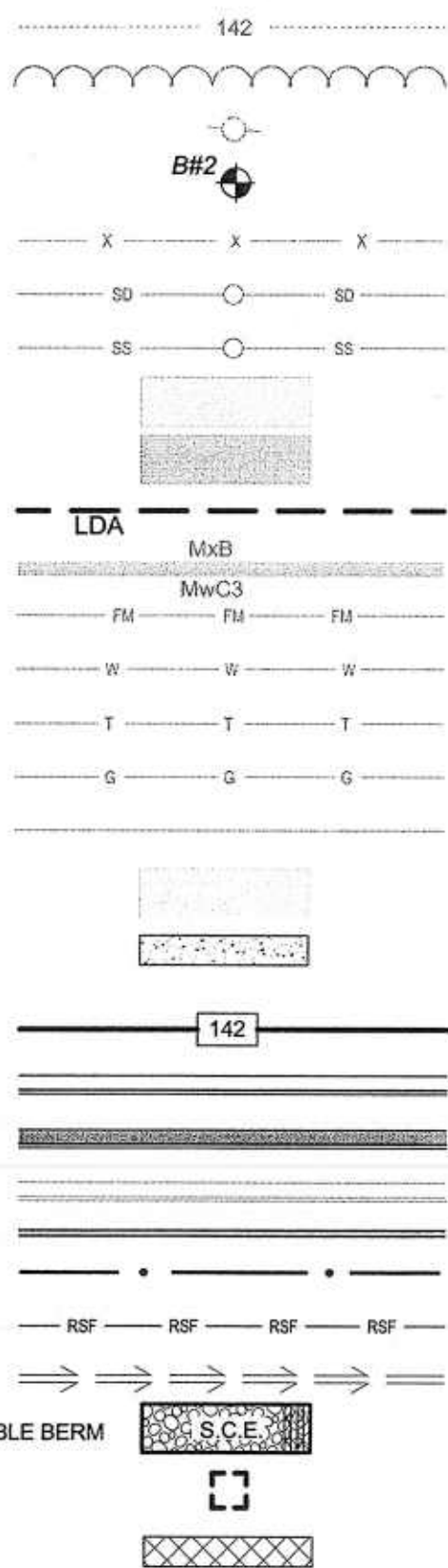




PROPERTY LINE / RIGHT-OF-WAY  
EXISTING CONTOUR  
EXISTING WOODS LINE  
EXISTING UTILITY POLE  
EXISTING BORING LOCATION  
EXISTING FENCE  
EXISTING STORM DRAIN  
EXISTING SEWER  
EXISTING SLOPES (15 - 25%)  
EXISTING SLOPES (25% AND GREATER)  
EXISTING CRITICAL AREA DESIGNATION  
EXISTING SOILS BOUNDARY AND TYPE  
EXISTING FORCE MAIN  
EXISTING WATER  
EXISTING OVERHEAD TELEPHONE  
EXISTING GAS  
EXISTING EDGE OF PAVEMENT

PROPOSED PAVING  
PROPOSED CONCRETE  
PROPOSED CONTOUR  
PROPOSED CURB AND GUTTER  
PROPOSED REVERSE SLOPE CURB AND GUTTER  
EXISTING CURB AND GUTTER  
PROPOSED FIRE HOUSE CONNECTION  
LIMIT OF DISTURBANCE  
REINFORCED SILT FENCE  
PROPOSED EARTH DIKE  
STABILIZED CONSTRUCTION ENTRANCE W/MOUNTABLE BERM  
STANDARD INLET PROTECTION  
PROPOSED AREA TO BE REMOVED

## LEGEND



LINE	BEARING	DIST.
L1	S45°06'11\"W	15.00'
L2	N44°53'49\"W	15.00'
L3	N45°06'11\"E	15.00'
L4	S44°53'49\"E	15.00'
L5	N44°53'49\"W	76.48'
L6	N54°54'01\"E	13.01'
L7	S35°05'59\"E	75.36'



**Bay Engineering Inc.**  
Engineers, Planners and Surveyors  
190 Admiral Cochrane Drive, Suite 175  
Annapolis, Maryland 21401  
410.897.9290  
email: info@bayengineering.com  
www.bayengineering.com

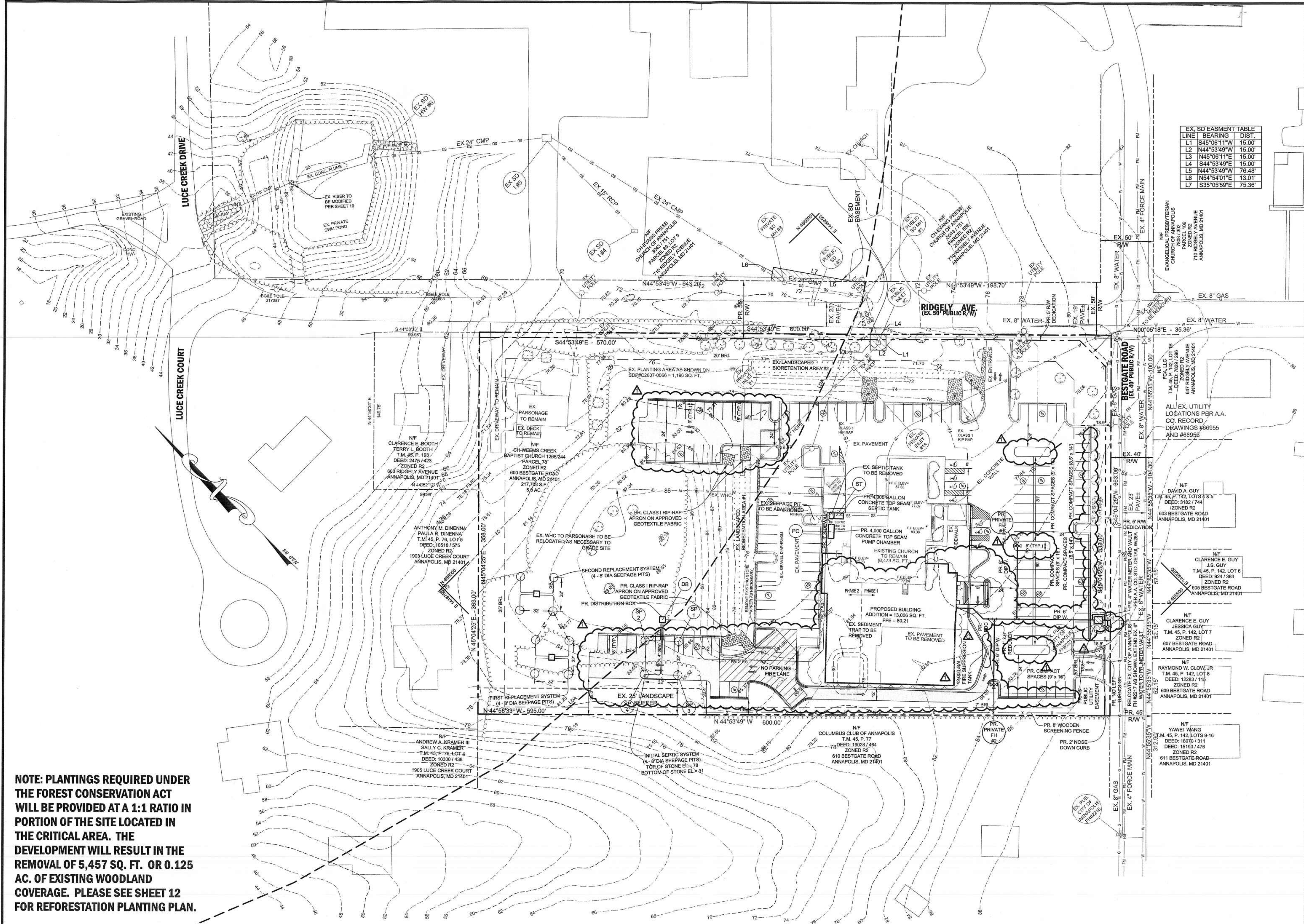
Date: OCTOBER, 2010  
Job Number: 09-3278  
Scale: 1\"=40'  
Drawn By: KWB  
Designed By: KWB  
Approved By: T.M.  
Folder Reference: WEEMS CREEK BAPTIST CHURCH

## ENVIRONMENTAL CONSERVATION PLAN OF THE SITE DEVELOPMENT PLAN FOR WEEMS CREEK BAPTIST CHURCH PHASE II

600 BESTGATE ROAD  
ANNAPOLIS, MD 21401  
TAX MAP 45 - GRID 16 - PARCEL 78 ZONED: R-2  
SECOND ELECTION DISTRICT ANNE ARUNDEL COUNTY, MARYLAND



**NOTE: PLANTINGS REQUIRED UNDER THE FOREST CONSERVATION ACT WILL BE PROVIDED AT A 1:1 RATIO IN PORTION OF THE SITE LOCATED IN THE CRITICAL AREA. THE DEVELOPMENT WILL RESULT IN THE REMOVAL OF 5,457 SQ. FT. OR 0.125 AC. OF EXISTING WOODLAND COVERAGE. PLEASE SEE SHEET 12 FOR REFORESTATION PLANTING PLAN.**



LINE	BEARING	DIST.
L1	S45°06'11"W	15.00'
L2	N44°53'49"W	15.00'
L3	N45°06'11"E	15.00'
L4	S44°53'49"E	15.00'
L5	N44°53'49"W	76.48'
L6	N54°54'01"E	13.01'
L7	S35°05'59"E	75.36'

# SITE & UTILITY PLAN

OF THE SITE DEVELOPMENT PLAN FOR

## WEEMS CREEK BAPTIST CHURCH PHASE II

600 BESTGATE ROAD  
ANNAPOLIS, MD 21401  
TAX MAP 45 - GRID 16 - PARCEL 78 ZONED: R-2

SECOND ELECTION DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

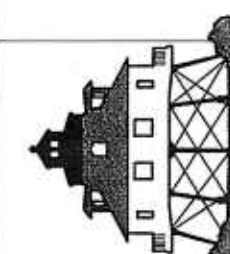
Cadd File : F:\09-3278 Weems Creek Church Addition GP-SDP\Drawing Files\GP03-3278-GP03.dwg

Sheet No. 3 OF 12  
File No. 09-3278

Date OCTOBER, 2010  
Job Number 09-3278  
Scale 1"=40'  
Drawn By KWB  
Designed By KWB  
Approved By T.M.

Folder Reference  
WEEMS CREEK  
BAPTIST CHURCH

**Bay Engineering Inc.**  
Engineers, Planners and Surveyors  
190 Admiral Cochrane Drive, Suite 175  
Annapolis, Maryland 21401  
410.897.9290  
email: info@bayengineering.com  
www.bayengineering.com

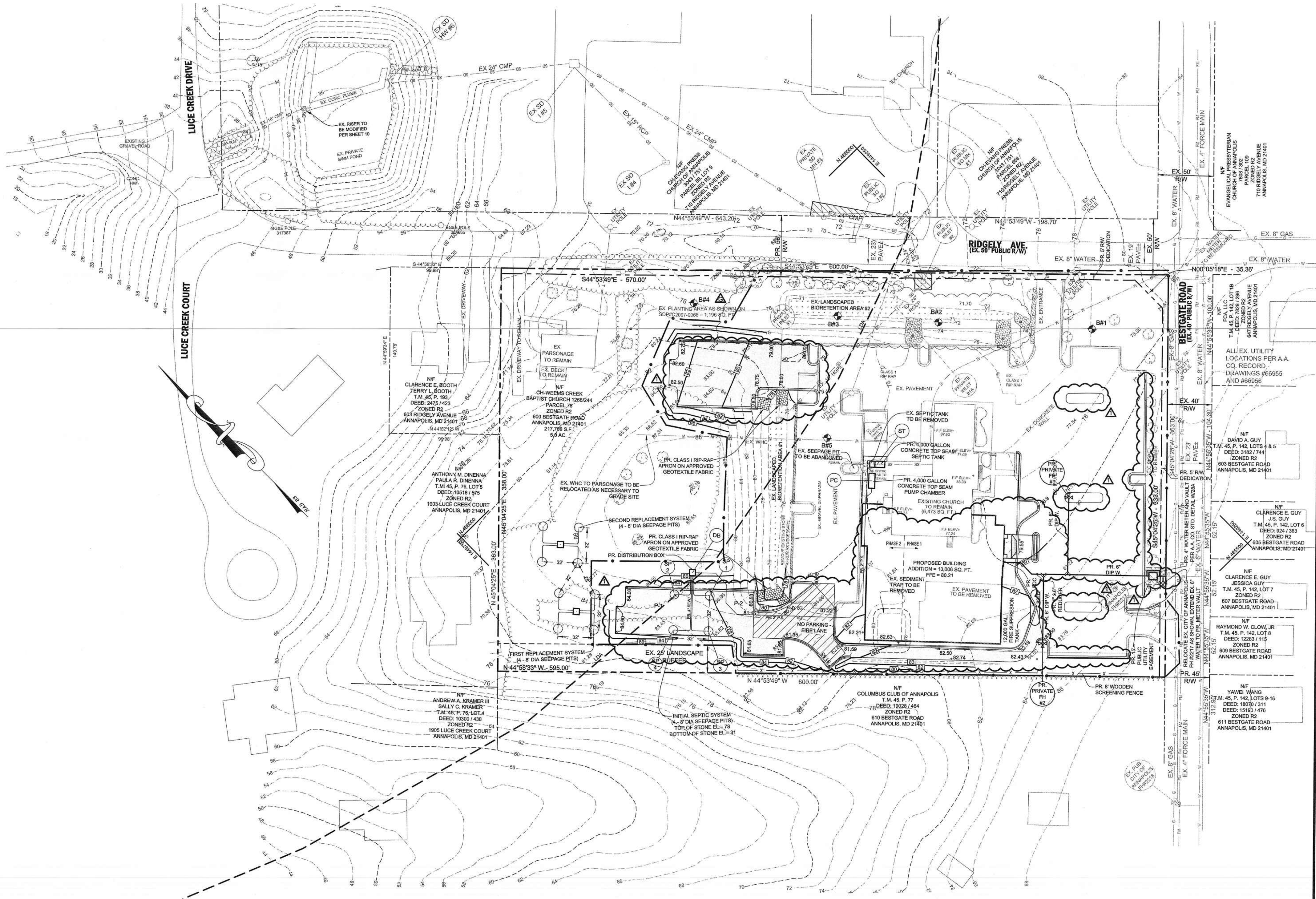


REVISED  
OCT 19 2010  
CRITICAL AREA COMMISSION  
Chesapeake & Atlantic Coastal Bays

### Revisions

Rev. #	By	Date	Description
1	KWB	12/23/08	REVISE FUTURE BUILDING EXPANSION
2	KWB	11/24/09	REVISE FUTURE BUILDING EXPANSION AND ADDITIONAL POSSIBLE LANDSCAPING AND FIC



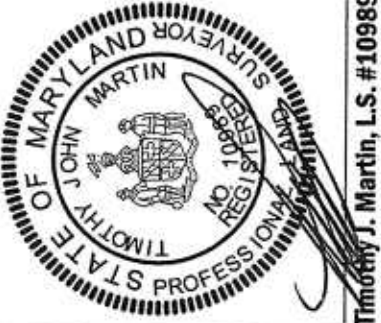
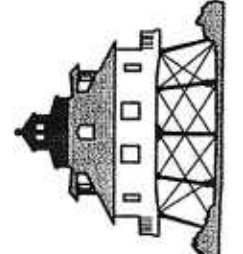


GRADING & STORM DRAIN PLAN  
OF THE SITE DEVELOPMENT PLAN FOR  
**WEEMS CREEK BAPTIST CHURCH  
PHASE II**

600 BESTGATE ROAD  
ANNAPOLIS, MD 21401  
TAX MAP 45 - GRID 16 - PARCEL 78 ZONED: R-2  
SECOND ELECTION DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

Folder Reference  
WEEMS CREEK  
BAPTIST CHURCH

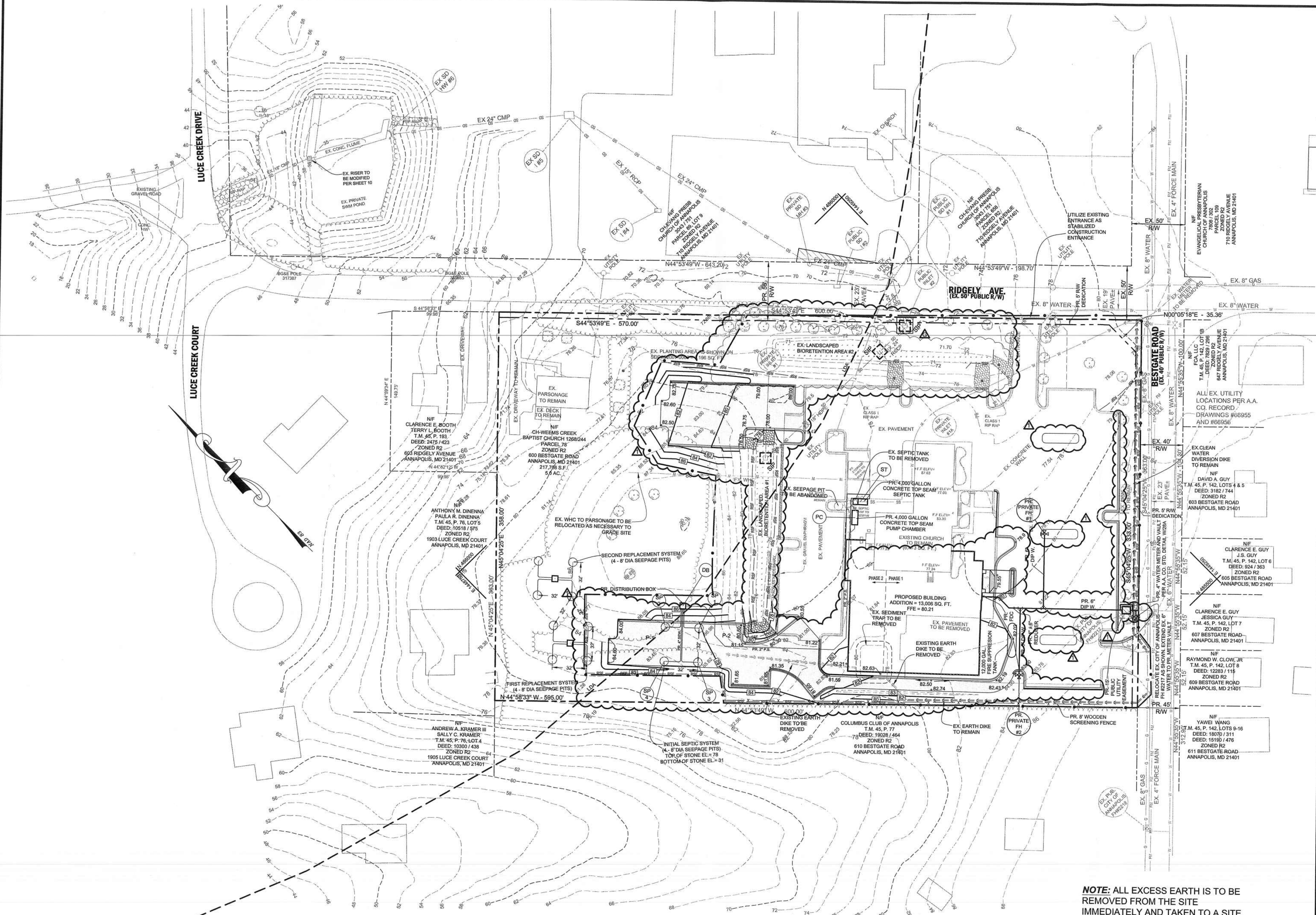
**Bay Engineering Inc.**  
Engineers, Planners and Surveyors



Rev. #	By	Date	Description
1	KWB	12/23/09	REVISE BIOTENTION AREA AND LIMITS OF DISTURBANCE
2	KWB	11/24/09	REVISE PROPOSED BUILDING EXPANSION, ADD ADDITIONAL PARKING, LANDSCAPING AND FHC
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Rev. #	By	Date	Description
1	KWB	12/23/09	REVISE BIOTENTION AREA AND LIMITS OF DISTURBANCE
2	KWB	11/24/09	REVISE PROPOSED BUILDING EXPANSION, ADD ADDITIONAL PARKING, LANDSCAPING AND FHC
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**NOTE:** ALL EXCESS EARTH IS TO BE REMOVED FROM THE SITE IMMEDIATELY AND TAKEN TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN

SEDIMENT EROSION CONTROL PLAN

OF THE SITE DEVELOPMENT PLAN FOR

# WEEMS CREEK BAPTIST CHURCH PHASE II

600 BESTGATE ROAD  
ANNAPOLIS, MD 21401

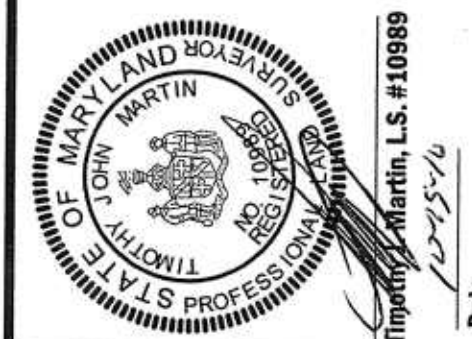
TAX MAP 45 - GRID 16 - PARCEL 78 ZONED: R-2

SECOND ELECTION DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

Date  
OCTOBER, 2010  
Job Number  
09-3278  
Scale  
1"=40'  
Drawn By  
KWB  
Designed By  
KWB  
Approved By  
TJM  
Folder Reference  
WEEMS CREEK  
BAPTIST CHURCH

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410.897.9290  
info@bayengineering.com  
www.bayengineering.com



## Revisions

Rev. #	By	Date	Description
1	KWB	12/21/08	REVISE BIORETENTION AREA, LIMITS OF DISTURBANCE AND PERIMETER SEGMENT CONTROL
2	KWB	11/24/09	REVISE PROPOSED CONTROL MEASURES, ADD ADDITIONAL PARKING, LANDSCAPING AND FIC

RECEIVED  
OCT 19 2010  
STATE OF MARYLAND COMMISSION

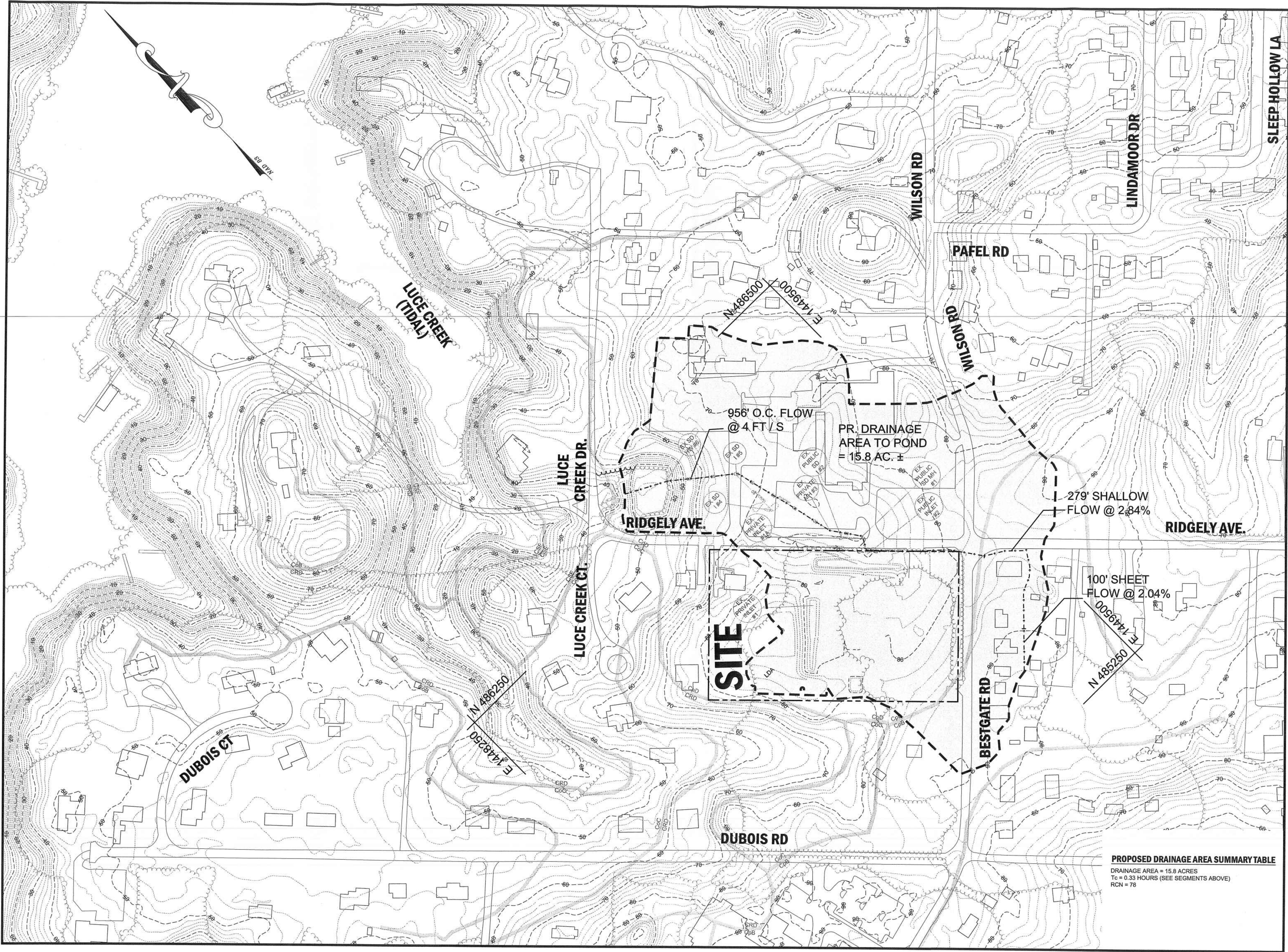






Cadd File: F:\09-3278 Weems Creek Church Addition GP-SDP\Drawing Files\GPermit\09-3278-GP07.dwg





PROPOSED DRAINAGE AREA SUMMARY TABLE  
 DRAINAGE AREA = 15.8 ACRES  
 Tc = 0.33 HOURS (SEE SEGMENTS ABOVE)  
 RCN = 78

PROPOSED DRAINAGE AREA MAP  
 OF THE SITE DEVELOPMENT PLAN FOR  
**WEEMS CREEK BAPTIST CHURCH  
 PHASE II**  
 600 BESTGATE ROAD  
 ANNAPOLIS, MD 21401  
 TAX MAP 45 ~ GRID 16 ~ PARCEL 78 ZONED: R-2  
 SECOND ELECTION DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

Date OCTOBER, 2010  
 Job Number 09-3278  
 Scale 1"=100'  
 Drawn By KWB  
 Designed By KWB  
 Approved By T.J.M.  
 Folder Reference WEEMS CREEK BAPTIST CHURCH

**Bay Engineering Inc.**  
 Engineers, Planners and Surveyors  
 190 Admiral Cochrane Drive, Suite 175  
 Annapolis, Maryland 21401  
 410.897.9290  
 email: info@bayengineering.com  
 www.bayengineering.com

Timothy J. Martin, L.S. #10889  
 Date 10/15/10

Rev. #	By	Date	Description
1	KWB	3/13/09	REVISE FUTURE BUILDING EXPANSION AND DRAINAGE AREAS
2	KWB	11/24/09	REVISE PROPOSED DRAINAGE AREAS, ADDITIONAL DRAINAGE LANSING AND POND
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09-3278-SITE.DWG, AACO-TOP.DWG : Xrefs / Images







## BUILDING PERIMETER PLANTING

-REQUIRED PERIMETER PLANTING = 50% OF TOTAL PERIMETER (699 LF) = 353 LF  
-PROVIDED PERIMETER PLANTING = 275 LF OF PROPOSED PLANTING AND 81 LF EXISTING PLANTING (50.93%)

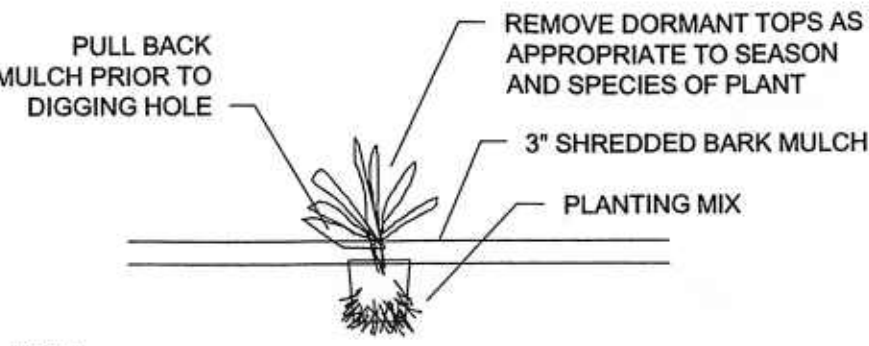
## LANDSCAPE SCHEDULE & COST ESTIMATE:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	ROOT	SPACING	COST
<b>SHADE TREES</b>							
CB	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	6	2" - 2 1/2" CAL	B&B	AS SHOWN	\$250 EACH
QB	ULMUS RUBRA	SLIPPERY ELM	1	2" - 2 1/2" CAL	B&B	AS SHOWN	\$250 EACH
QB	QUERCUS BOREALIS	RED OAK	14	2" - 2 1/2" CAL	B&B	AS SHOWN	\$250 EACH
AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	27	2" - 2 1/2" CAL	B&B	AS SHOWN	\$250 EACH
<b>ORNAMENTAL TREES</b>							
CC	CERCIS CANADENSIS	REDBUD	1	6" - 8" HEIGHT	B&B	AS SHOWN	\$250 EACH
<b>SHRUBS</b>							
IG	ILEX GLABRA 'COMPACTA'	DWARF INKBERY	124	2" - 2 1/2" HEIGHT	CONT.	5" O.C.	\$30 EACH
AN	RHODODENDRON ATLANTICUM	DWARF AZALEA	38	3 GALLON	CONT.	3" O.C.	\$30 EACH
RC	RHODODENDRON CANESCENS	MOUNTAIN AZALEA	4	2" - 2 1/2" HEIGHT	CONT.	5" O.C.	\$30 EACH
CA	CLETHRA ALNIFOLIA	SUMMERSWEET	13	3" - 4" HEIGHT	CONT.	4" O.C.	\$30 EACH
TOTAL COST							= \$17,620

NOTE:  
PREVIOUS GRADING PERMIT BOND AMOUNT WAS \$105,078.00  
PREVIOUS LANDSCAPE COST ESTIMATE SHOWN ON THE PREVIOUS GRADING PERMIT BOND WAS \$15,120.00

## LIGHTING NOTE

THE DEPARTMENT OF PLANNING AND ZONING RESERVES THE RIGHT TO REVIEW ALL SITE LIGHTING PRIOR TO FINAL OCCUPANCY TO DETERMINE IF ANY GLARE IS SHED UPON ADJOINING AND NEARBY PROPERTIES. MODIFICATION OF A LIGHT FIXTURE (S) OR ADDITIONAL LANDSCAPE SCREENING MAY BE NECESSARY IF GLARE IS DETERMINED TO CREATE A NUISANCE.



NOTE  
REMOVE CONTAINER AND PULL ROOT MAT OUT OF THE POTTING MIX.  
CRUSH 2 1/4\"/>

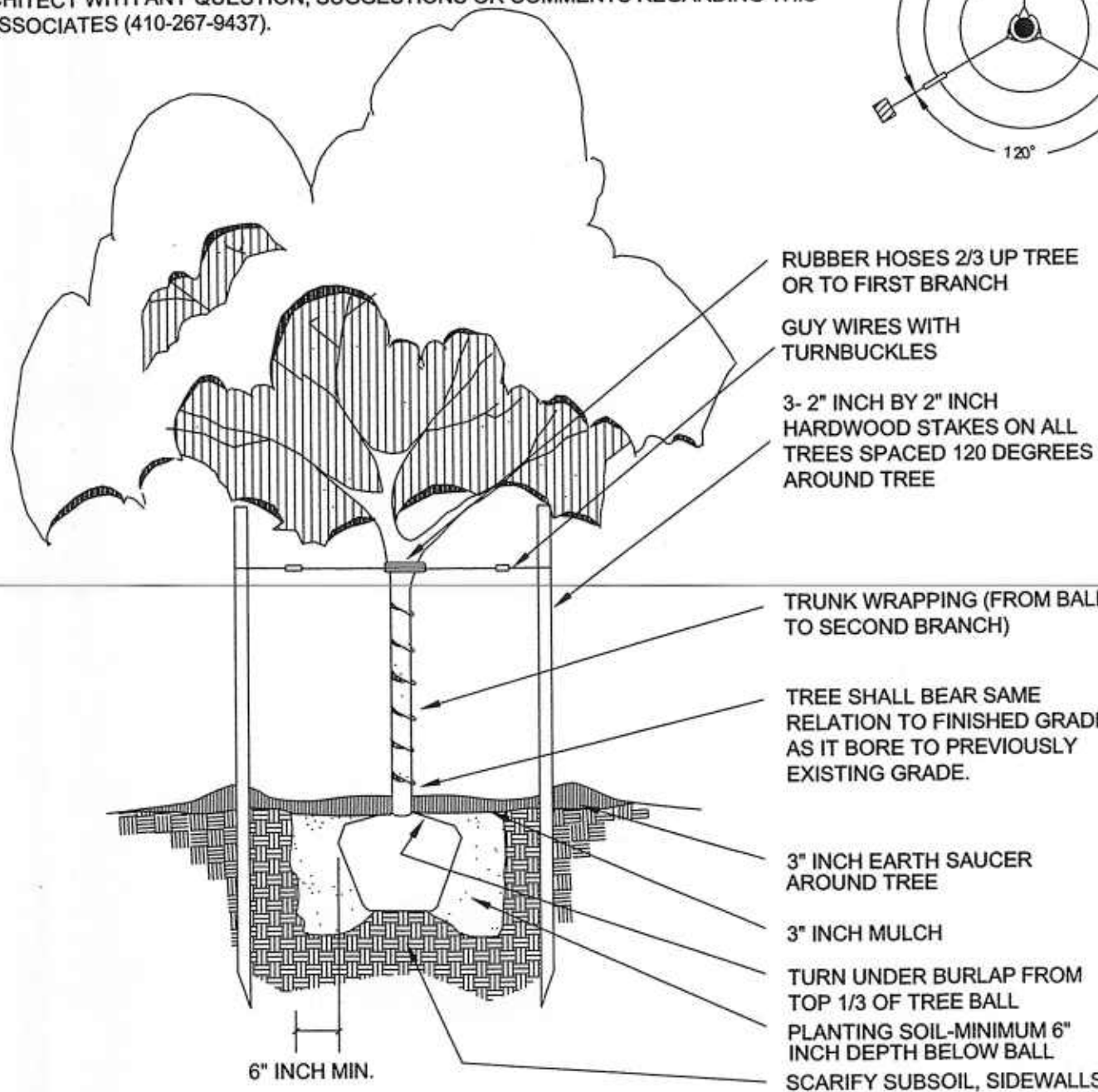
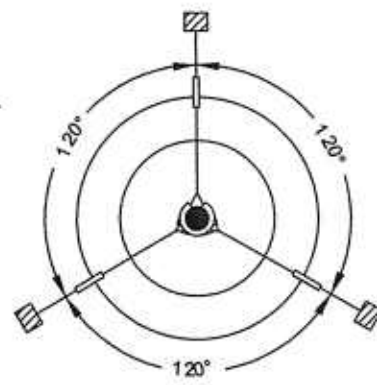
## PERENNIAL & GROUND COVER PLANTING PLAN

SCALE: NONE

PLANTINGS PLANS PREPARED BY  
**GARY BRENDLE**  
REGISTERED LANDSCAPE ARCHITECT #740  
221 MEADOW GATE DRIVE  
ANNAPOLIS, MARYLAND 21409  
TELEPHONE 410-349-1280  
FACSIMILE 410-349-1261

## PLANTING NOTES

1. THE LANDSCAPE ARCHITECT IS TO APPROVE THE LOCATION OF PLANTS PRIOR TO ANY DIGGING. NOTIFY THE LANDSCAPE ARCHITECT THREE DAYS PRIOR TO SCHEDULED PLANTING TO ARRANGE ON SITE APPROVAL OF PLANT LOCATIONS.
2. ALL WORK TO MEET OR EXCEED LANDSCAPE CONTRACTOR'S ASSOCIATION OF METROPOLITAN WASHINGTON "SUGGESTED SPECIFICATIONS".
3. ALL PLANT MATERIAL TO MEET OR EXCEED AMERICAN ASSOCIATION OF NURSERYMEN "STANDARDS FOR LANDSCAPE MATERIALS".
4. ALL PLANTING TO RECEIVE A 3" LAYER OF SHREDDED BARK MULCH IN CONTINUOUS BEDS WHERE FEASIBLE.
5. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE UNACCEPTABLE PLANT MATERIALS AND WORKMANSHIP.
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE SUBSTITUTIONS WITH THE CITY OF ANNAPOLIS DEPARTMENT OF PLANNING & ZONING (410-263-7961). CONTACT THE LANDSCAPE ARCHITECT FOR DECISION PRIOR TO PURCHASE OF SUBSTITUTE MATERIAL.
7. CALL LANDSCAPE ARCHITECT WITH ANY QUESTION, SUGGESTIONS OR COMMENTS REGARDING THIS PLAN. CROWTHER & ASSOCIATES (410-267-9437).



## TREE PLANTING DETAIL

SCALE: NONE

## LANDSCAPE GENERAL NOTES

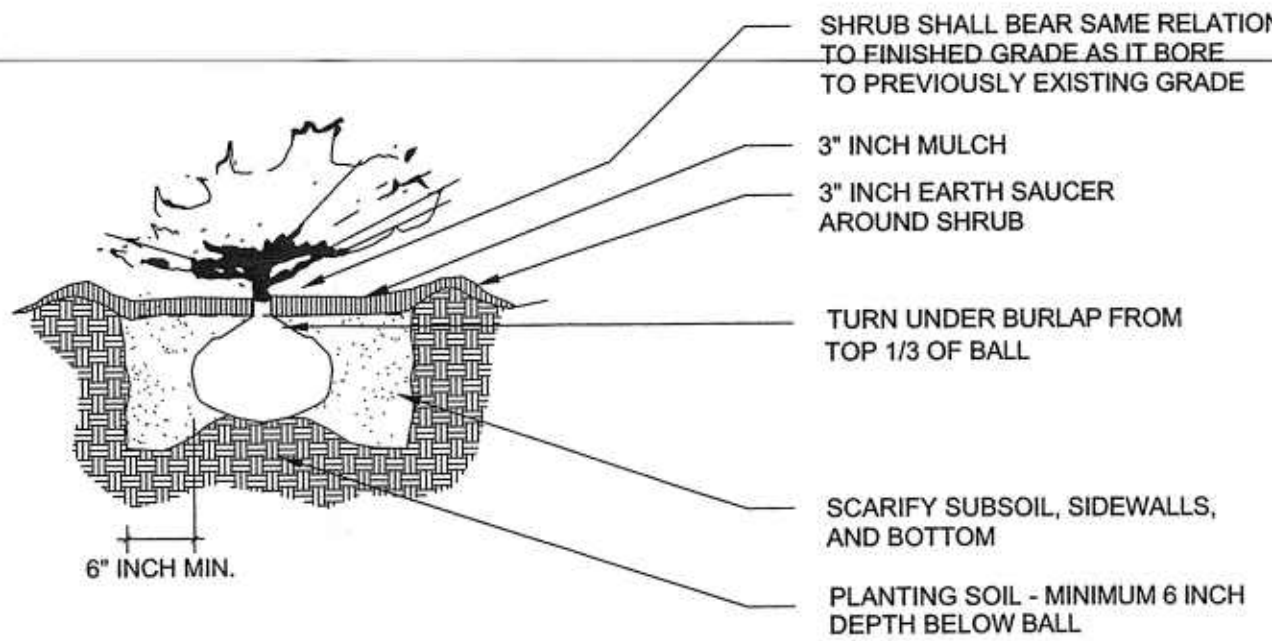
1. SEE SITE PLAN AND GRADING PLAN FOR LOCATION OF ALL EXISTING AND PROPOSED UTILITIES, STRUCTURES, ETC.
2. CONTRACTOR TO VERIFY LOCATION OF OVERHEAD UTILITIES, IF ANY, AND ADJUST PLANT LOCATIONS ACCORDINGLY.
3. SEE FOREST CONSERVATION PLAN FOR TREE PROTECTION DEVICES.
4. ALL PLANTING SHALL CONFORM TO CURRENTLY APPROVED STANDARD HORTICULTURAL PRACTICE. SEE PLANTING DETAILS. PLANTING SHALL TAKE PLACE BETWEEN MARCH 15-JUNE 1 OR SEPTEMBER 15-NOVEMBER 15.
5. ALL PLANT MATERIAL SHALL CONFORM TO CURRENT STANDARDS AS DEFINED BY THE AMERICAN NURSERYMAN'S ASSOCIATION AND EACH SHALL BE CLEARLY TAGGED WITH ITS BOTANICAL NAME. NO SUBSTITUTIONS SHALL BE PERMITTED AFTER BID HAS BEEN ACCEPTED. ALL PLANTS SHALL BE CERTIFIED BY THE CONTRACTOR TO BE FREE OF PESTS, FUNGI AND/OR DEFORMITIES, AND DAMAGE.
7. PLANTING BEDS AND PITS SHALL BE RENDERED FREE OF ROCKS AND ANY DEBRIS FOUND DURING THE TILLING AND PREPARATION PROCESS.
8. PLANTING BEDS SHALL BE FILLED TO A MINIMUM OF 8". IF ANY UNSUITABLE CONDITIONS, SUCH AS EXTREME COMPACTION OF HIGH WATER TABLE ARE ENCOUNTERED, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
9. A MINIMUM OF 2" DEPTH OF PEAT MOSS OR "LEAF GRO" AND 2" DEPTH OF CLEAN, LOAMY TOPSOIL SHALL BE SPREAD EVENLY OVER ALL PLANTING BEDS AND INCORPORATED BY TILLING. IN COMPACTED CONDITIONS OR CLAY, A MINIMUM OF 1" OF SAND SHALL ALSO BE INCORPORATED.
10. A SUITABLE SLOW RELEASE TYPE FERTILIZER SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND BASED ON SOIL SAMPLES TAKEN ON-SITE AFTER GRADING HAS BEEN COMPLETED. SUBMIT FERTILIZER INFORMATION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO COMMENCING PLANTING OPERATIONS.
11. SOIL MIX FOR PLANTING PITS SHALL CONSIST OF 3 PARTS BY VOLUME EXISTING ON-SITE SOIL, 1 PART PEAT MOSS OR "LEAF GRO" AND SLOW-RELEASE TYPE FERTILIZER COMBINED PER MANUFACTURER'S RECOMMENDATIONS. IN COMPACTED CONDITIONS OR CLAY, ALSO ADD 1 PART CLEAN SAND. THIS MIX SHALL BE PREPARED PRIOR TO USE AS BACKFILL PLANTING MIX.
12. IF ANY UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED THAT CONFLICT WITH THE PLANNED PLANTINGS, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
13. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING FOR INSPECTION AND APPROVAL OF ALL PLANT MATERIAL PRIOR TO ANY INSTALLATION. THIS MAY BE WAIVED BY THE GENERAL CONTRACTOR/OWNER.
14. IF ANY CONFLICTS ARE FOUND BETWEEN THE INFORMATION SHOWN IN THE LANDSCAPE PLAN AND THAT SHOWN IN THE PLANT LIST, CONTACT THE LANDSCAPE ARCHITECT PRIOR TO THE TIME THAT THE FINAL BID IS SUBMITTED.
15. ALL PLANTING BEDS AND PITS SHALL BE NEATLY HAND EDGED UNLESS OTHERWISE SPECIFIED.
16. ALL PLANTING BEDS AND PITS SHALL BE PROVIDED WITH 3" OF SHREDDED BARK MULCH, SPREAD EVENLY, UNLESS OTHERWISE SPECIFIED. IN ADDITION, PLANT PITS SHALL HAVE A 3" HIGH MULCH RIM OR "SAUCER" PROVIDED.
17. A WATER SOURCE FOR PLANTING AND MAINTENANCE OPERATIONS SHALL BE PROVIDED BY THE OWNER/CLIENT. IF A SOURCE IS NOT AVAILABLE ON SITE, CONTRACTOR WILL INCLUDE A WATER SUPPLY PRICE IN HIS/HER BID. THE CONTRACTOR SHALL PROVIDE WATERING EQUIPMENT AS NEEDED.
18. ANY LAWN SURFACES DAMAGED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REPAIRED IN KIND BEFORE THE JOB SHALL BE ACCEPTED FOR FINAL APPROVAL.
19. THE OWNER'S PROPERTY AND ANY AFFECTED ABUTTING PROPERTY SHALL BE LEFT CLEAN AND FREE OF ANY EXCESS MATERIALS AND DEBRIS RESULTING FROM ANY PHASE OF THE LANDSCAPE OPERATIONS.
20. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING, AS NECESSARY, ANY PROPERTY OF THE OWNER/CLIENT OR ANY ABUTTING AFFECTED PROPERTY THAT IS DAMAGED BY THE CONTRACTOR'S OPERATIONS, EQUIPMENT OR CREW. ANY SUCH REPAIR OR REPLACEMENT SHALL TAKE PLACE IN A TIMELY FASHION AND IN A MANNER THAT MEETS WITH THE APPROVAL OF THE OWNER/CLIENT.
21. THE DATE OF ACCEPTANCE OF THE COMPLETED INSTALLATION. THIS SHALL INCLUDE ONE REPLACEMENT TO MATCH THE ORIGINAL. IF THE CONTRACTOR IS OF THE OPINION THAT ANY SPECIFIED PLANT MATERIAL WILL NOT SURVIVE ITS PLANNED LOCATION, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED PRIOR TO BID. A TREE SHALL BE REPLACED IF THE MAIN LEADER HAS DIED BACK OR THE CANOPY IS 25% DEAD. A SHRUB SHALL BE CONSIDERED DEAD IF 25% OF THE GROWTH IS DEAD.
22. THE CONTRACTOR IS LIABLE FOR ALL MAINTENANCE FOR A TWO MONTH PERIOD FOLLOWING COMPLETION. DURING THE REMAINDER OF THE WARRANTY PERIOD, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE INSTALLATION AND MAKING MAINTENANCE RECOMMENDATIONS TO THE OWNER/CLIENT. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, HERBICIDE, PESTICIDE, FUNGICIDE OR FERTILIZER APPLICATION, PATCHING OR REAPPLYING MULCH TO MAINTAIN DEPTH, PRUNING, ADJUSTING STAKES, WEEDING AND REPAIRING BED EDGES.

## INTERIOR PARKING CALCULATIONS

1. INTERIOR PARKING AREA: 68,867 S.F.
2. INTERIOR GREEN AREA REQUIRED (10.00%): 6,887 S.F.
3. INTERIOR GREEN AREA PROVIDED (10.49%): 7,222 S.F.
4. INTERIOR SHADE TREES REQUIRED: 33 TREES
5. INTERIOR SHADE TREES PROVIDED: 33 TREES

## BUFFER YARD CALCULATIONS

1. BESTGATE ROAD (40' RIGHT-OF-WAY) - 340 L.F.  
REQUIRED BUFFER YARD: 15' WITH 11 SHADE TREES  
PROVIDED BUFFER YARD: > 15' WITH 4 EX. SHADE TREE, 12 ORNAMENTAL TREES, 3 PR. SHADE TREES AND 1 PROPOSED ORNAMENTAL TREE.
2. SOUTHWEST PROPERTY LINE (KULDA) - 490 L.F.  
REQUIRED BUFFER YARD: 25' WITH 16 SHADE TREES  
PROVIDED BUFFER YARD: 25' WITH 8 PROPOSED SHADE TREES AND AN 8' TALL WOODEN SCREENING FENCE
3. NORTHWEST PROPERTY LINE (LOT 5, BOOTH) - 340 L.F.  
REQUIRED BUFFER YARD: 15' WITH 13 SHADE TREES  
PROVIDED BUFFER YARD: 25' WITH MANY EXISTING SHADE TREES INCLUDING 5 OAKS > 36" DIAMETER
4. RIDGELY AVENUE (40' RIGHT-OF-WAY) - 400 L.F.  
REQUIRED BUFFER YARD: 15' WITH 13 SHADE TREES  
PROVIDED BUFFER YARD: > 15' WITH 7 EXISTING SHADE TREES, 9 EXISTING EVERGREEN TREES, AND 4 PROPOSED SHADE TREES



## SHRUB PLANTING DETAIL

SCALE: NONE

## TREE PROTECTION NOTES

TREE PROTECTION MEASURES FOR EXISTING TREES

THE FOLLOWING INFORMATION WAS PROVIDED BY GARY BRENDLE, LANDSCAPE ARCHITECT.

NOTE  
ALL TREE PROTECTION MEASURES ARE TO BE PERFORMED BY A CERTIFIED ARBORIST.

### PRE-CONSTRUCTION RECOMMENDATIONS

1. REMOVE THE DEADWOOD IN PROTECTED TREES DURING DORMANT PERIOD OR UNTIL NEW GROWTH HAS HARDENED OFF AND AFTER THE SPRING FLUSH OF GROWTH (AFTER MID-JUNE)
2. TAKE SOIL SAMPLES FROM AROUND THE TREES TO DETERMINE EXTENT OF THE MYCORRHIZAL FUNGI ASSOCIATIONS. SAMPLES WILL BE TAKEN AND INJECTIONS ARRANGED PRIOR TO CONSTRUCTION.
3. ASSESS EACH TREE FOR THE PRESENCE OF STRESSING INSECTS OR DISEASES. THIS SHOULD BE PERFORMED THE SAME TIME SOIL SAMPLES ARE COLLECTED.
4. ROOT PRUNING OPERATION SHOULD OCCUR ALONG THE LIMITS OF DISTURBANCE FOR THE TREES. A ROOT PRUNING TOOL (EITHER A HIGH PRESSURE AIR SPADE OR A ROTARY CUTTING WHEEL) IS USED TO SEVER THE ROOTS TO A DEPTH OF 24-36" BELOW GRADE. THE SEVERED ROOTS ARE THEN CUT CLEANLY WITH A SHARP PRUNING TOOL. IT IS RECOMMENDED THAT THIS TREATMENT BE DONE WHEN SOIL MOISTURE LEVELS HAVE BEEN ADEQUATE FOR AT LEAST ONE-HALF OF A GROWING SEASON, AND NOT DURING TIMES OF MAXIMUM TWIG EXPANSION OR DURING THE FALL SENESECE PERIOD. IT IS ALSO PREFERABLE TO HAVE AT LEAST SIX MONTHS LEAD TIME FOR THE TREES TO ADJUST TO THE STRESS OF ROOT PRUNING IN ADVANCE OF CONSTRUCTION ACTIVITIES.

### CONSTRUCTION PERIOD

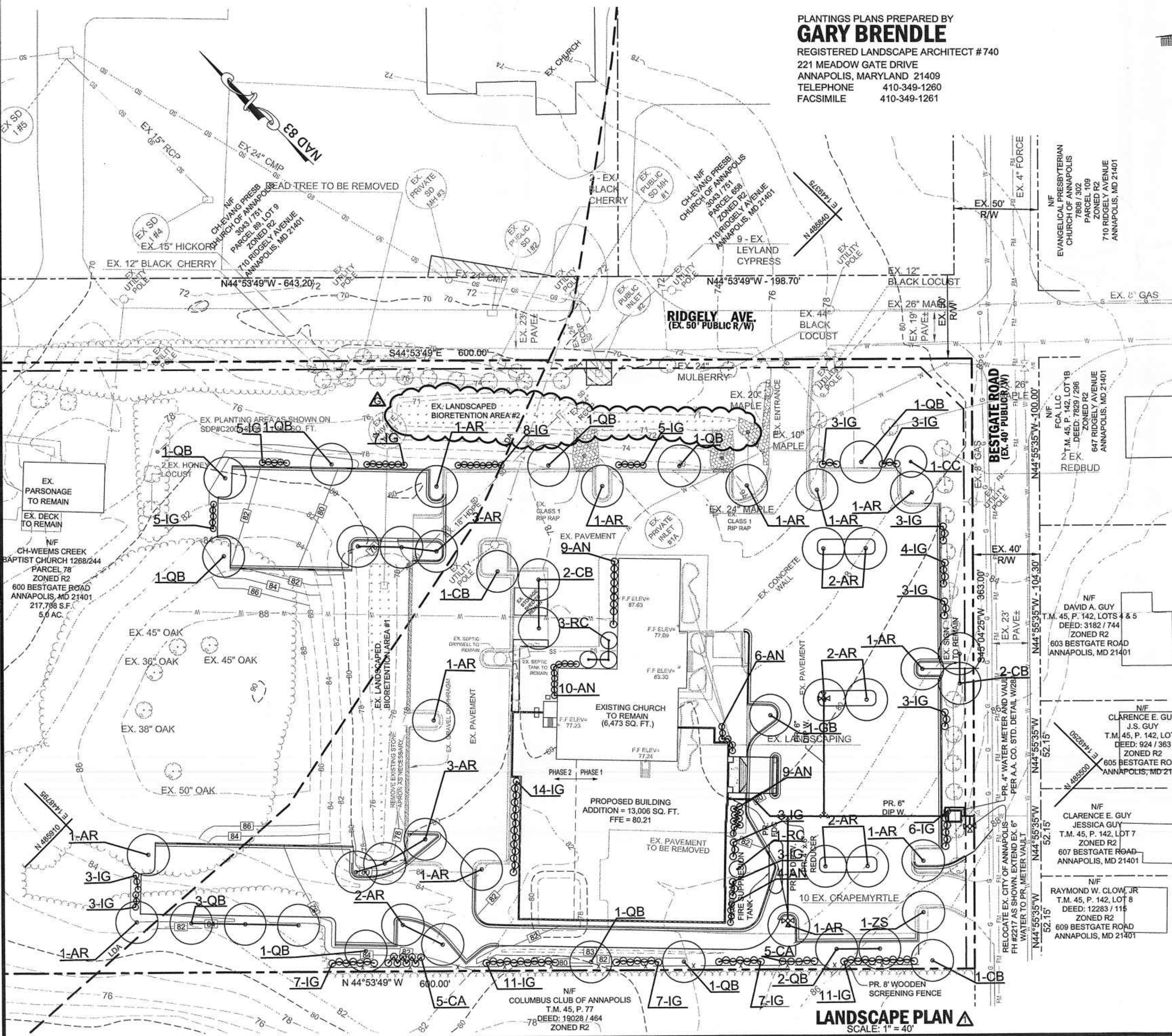
1. THE DEVELOPER / CONTRACTOR TO CONTACT THE CITY OF ANNAPOLIS PLANNING AND ZONING AT 410-263-7961 OR THE ANNE ARUNDEL DEPARTMENT OF INSPECTIONS AND PERMITS AT 410-222-7780 TO REVIEW THE SITES L.O.D. STAKEOUT, FIELD MARKINGS AND TREE PROTECTION MEASURES PRIOR TO THE INSTALLATION OF ANY FENCING AND PRIOR TO THE START OF CONSTRUCTION.
2. PRIOR TO ANY HEAVY MACHINERY ARRIVING ON THE SITE, FOR SITE GRADING OR DEMOLITION, ADEQUATE TREE PROTECTION FENCING MUST BE IN PLACE. SIGNAGE WILL BE ADDED TO THE FENCE THAT CLEARLY DELINEATES THE AREA AS TREE PROTECTION. A 4" - 6" LAYER OF HARDWOOD MULCH, OR 6" DEEP WOOD CHIPS, MUST BE INSTALLED WITHIN THE TREE PROTECTION FENCING. IT WILL ALSO BE IMPORTANT TO IDENTIFY ANY ROOT ZONES THAT MAY NOT BE WITHIN THE FORMAL TREE PROTECTION FENCING BUT SHOULD ALSO BE PROTECTED FROM COMPACTION.
3. SOIL MOISTURE MONITORING

A MINIMUM OF TWO TENSIOMETERS SHALL BE INSTALLED WITHIN THE CRZ FOR EACH TREE. METERS SHALL BE MONITORED, AND DATA RECORDED, BY A CERTIFIED ARBORIST, OR ON-SITE PERSONNEL FAMILIAR WITH TENSIOMETERS. ADJUSTMENTS SHALL BE MADE TO MOISTURE LEVELS AS NECESSARY. MOISTURE LEVELS MUST BE KEPT WITHIN AN ACCEPTABLE RANGE FOR EACH OF THE TWO TREES. METERS SHALL BE READ A MINIMUM OF ONCE PER WEEK DURING THE GROWING SEASON OF APRIL TO OCTOBER.

### POST-CONSTRUCTION PERIOD

1. FINAL ARBORIST SURVEY  
A CERTIFIED ARBORIST SHALL SURVEY THE PROTECTED TREES ONCE ALL CONSTRUCTION ACTIVITIES HAVE CEASED. A WRITTEN REPORT SHALL BE GENERATED THAT DETAILS THE CONDITION OF THE TREES IN QUESTION. THIS REPORT SHALL ALSO DETAIL ANY FOLLOW-UP TREATMENTS THAT MAY BE REQUIRED.
2. REMOVAL OF TREE PROTECTION FENCING AND MULCH  
ALL TREE PROTECTION FENCING FROM AROUND THE CRZ SHALL BE REMOVED. ALL WOOD CHIP MESH SHALL ALSO BE REMOVED FROM THE SITE. NO LANDSCAPE MATERIAL, EXCEPT AS SHOWN HEREIN, SHOULD BE ADDED TO THE AREA THAT WAS WITHIN THE CRZ FOR AT LEAST A PERIOD OF THREE YEARS. THE AREA WITHIN THE CRZ CAN BE RETURNED TO LAWN. A LIGHT APPLICATION OF TOPSOIL AND GRASS SEED IS ACCEPTABLE IN THIS AREA.
3. POST CONSTRUCTION MAINTENANCE  
THE OWNER SHALL UNDERTAKE THE NECESSARY ARBORICULTURAL TREATMENTS TO INSURE LONG TERM SURVIVAL OF THE PROTECTED TREES. THIS MAY INCLUDE SOIL AMENDMENTS, MOISTURE ADJUSTMENTS AND INSECT AND DISEASE CONTROL PROGRAMS. IT IS ALSO HIGHLY RECOMMENDED THAT THE OWNER RESTRICT THE USE OF DE-ICING SALTS ON THE PARKING LOT SURFACE. ONLY SAND SHALL BE USED IN THIS AREA TO TREAT WET OR ICY SURFACES.

NOTE  
THE DEVELOPER / CONTRACTOR SHALL ALLOW FOR INSPECTION VISITS BY AN ARBORIST TO INSURE THAT THE TREE PROTECTION PLAN IS BEING ENFORCED.



## LANDSCAPE PLAN

SCALE: 1" = 40'

Revisions

Rev. #	By	Date	Description
A	KWB	11/24/09	REUSE PROPOSED BUILDING EXPANSION, ADD ADDITIONAL PARKING, LANDSCAPING AND PHC

RECEIVED

OCT 19 2010

CRITICAL AREA COMMISSION

CHESapeake & Atlantic Coastal Bays

09-3278-SITLEDWG : Xrefs / Images

Bay Engineering Inc.

Engineers, Planners and Surveyors

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Date

OCTOBER, 2010

Job Number

09-3278

Scale

AS SHOWN

Drawn By

KWB

Designed By

KWB

Approved By

TJM

Folder Reference

WEEMS CREEK BAPTIST CHURCH

LANDSCAPE & BIORETENTION PLANTING PLAN & DETAILS

OF THE SITE DEVELOPMENT PLAN FOR

WEEMS CREEK BAPTIST CHURCH

PHASE II

600 BESTGATE ROAD  
ANNAPOLIS, MD 21401  
TAX MAP 45 - GRID 16 - PARCEL 78 ZONED: R-2

SECOND ELECTION DISTRICT

ANNE ARUNDEL COUNTY, MARYLAND

Sheet No.

11 OF 12

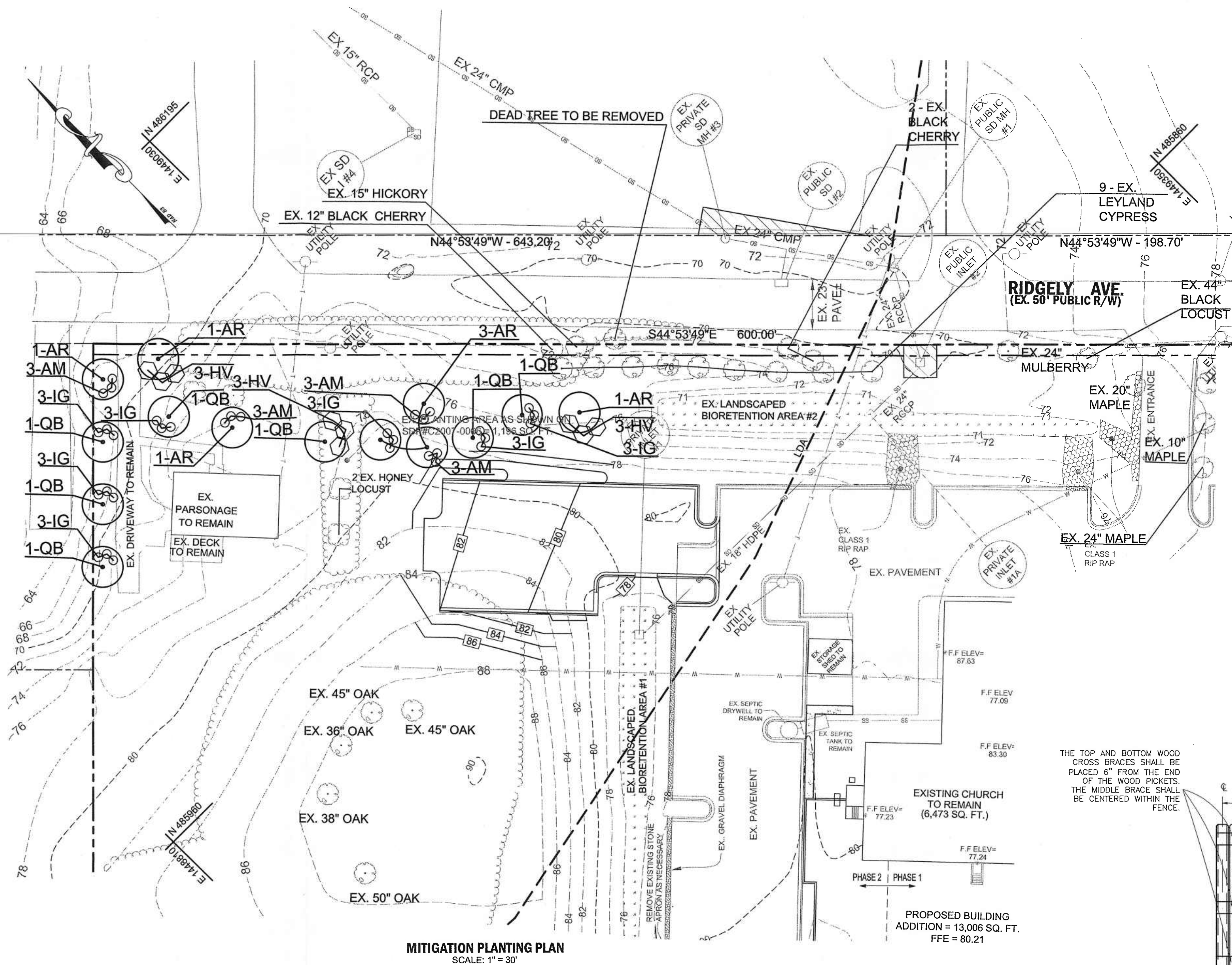
File No.

09-3278

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PLOTTED: Oct 15, 2010 - 8:50am

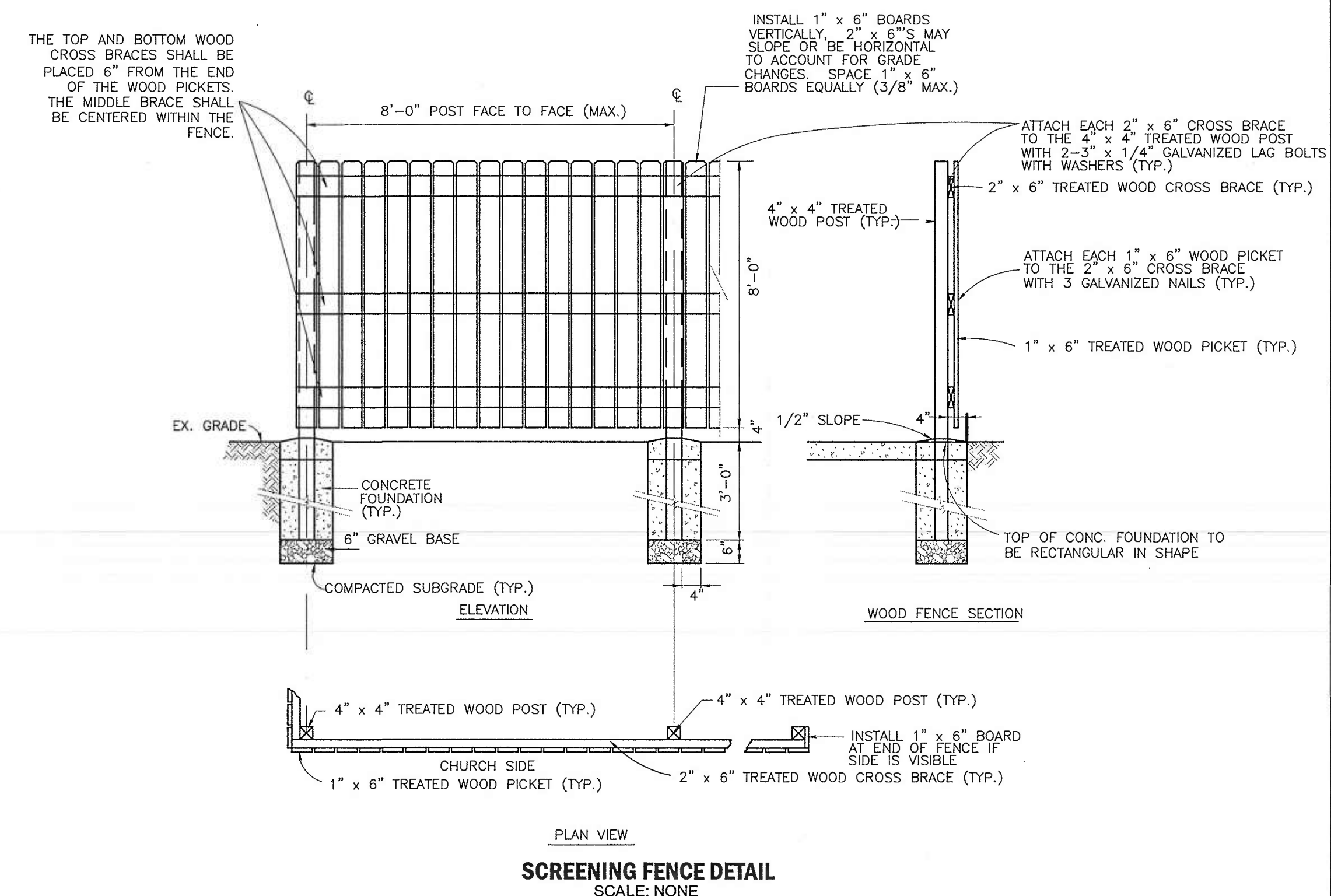


## MITIGATION PLANTING SCHEDULE & COST ESTIMATE

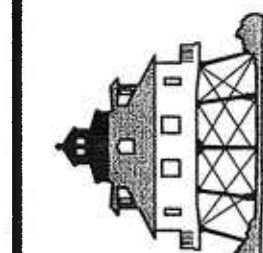
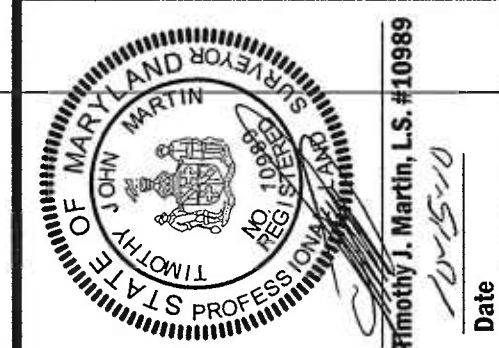
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	ROOT	SPACING	COST
<b>CANOPY TREES</b>							
AR	ACER RUBRUM	RED MAPLE	7	2" - 2-1/2" CAL.	B & B	20'-25' O/C	\$250 EACH
QB	QUERCUS BOREALIS	RED OAK	7	2" - 2-1/2" CAL.	B & B	20'-25' O/C	\$250 EACH
<b>SHRUBS &amp; GROUND COVERS</b>							
AM	ARONIA MELANOCARPA	BLACK CHOKEBERRY	9	3 GAL.	CONT.	5' O.C.	\$30 EACH
HV	HAMAMELIS VIRGINIANA	WITCH HAZEL	12	5 GAL.	CONT.	5' O.C.	\$30 EACH
IG	ILEX GLABRA 'COMPACTA'	DWARF INKBERRY	21	5 GAL.	2" - 2-1/2"	5' O.C.	\$30 EACH
						TOTAL COST	= \$4,760.00

## MITIGATION PLANTING CALCULATIONS

- EXISTING FOREST COVER IN CRITICAL AREA = 34,358 SQ. FT.
- PROPOSED CLEARING IN THE CRITICAL AREA = 5,457 SQ. FT. OR 15.88% (1:1 MITIGATION)
- PLANTING AREA REQUIRED (EXISTING COVER IN CRITICAL AREA TO BE REMOVED)... 5,457 SQ. FT.
- REQUIREMENT - 1 TREE AND 3 SHRUBS PER 400 S.F.
- PROVIDED - 5,457 SQ. FT. / 400 SQ. FT. = 13.64 = 14 TREES AND 42 SHRUBS



Rev. #	By	Date	Description
A	KWB	3/13/09	REVISE FUTURE BUILDING EXPANSION AND BIORETENTION AREA.
A	KWB	11/24/09	REVISE PROPOSED BUILDING EXPANSION AND ADDITIONAL PARKING, LANDSCAPING AND PCD



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<b>Date</b> OCTOBER, 2010
<b>Job Number</b> 09-3278
<b>Scale</b> AS SHOWN
<b>Drawn By</b> KWB
<b>Designed By</b> KWB
<b>Approved By</b> TJM
<b>Folder Reference</b> WEEMS CREEK BAPTIST CHURCH

REFORESTATION PLANTING PLAN  
OF THE SITE DEVELOPMENT PLAN FOR  
**WEEEMS CREEK BAPTIST CHURCH**  
PAGE 11

**PHASE II**  
600 BESTGATE ROAD  
ANNAPOLIS, MD 21401  
TAX MAP 45 ~ GRID 16 ~ PARCEL 78 ZONED: R-2